



Lone Star Stucco, LLC

Moisture Assessment Report

Mr. Sample Report

1234 Main St

Houston, TX 77007



Lone Star Stucco, LLC 2220 S Piney Pt Rd #208 Houston, TX 77063
Inspector's Cell: (936) 661-6612 (preferred text) **Office:** (936) 228-2268
Email: angelalonestarstucco@gmail.com



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Project Information

PROPERTY INFORMATION		INSPECTION INFORMATION	
Client Name	Mr. Sample Report	Type of Inspection	Moisture Assessment
Property Address	1234 Main St	Date of Inspection	
City, State, ZIP	Houston, TX 77007	Temperature	89 Degrees
Phone		Weather	Clear
Square Footage (estimated)	2,402	Last Rain	3-4 Days
Approximate Age of Property	2004	In Attendance	Yes
Stories	3	Inspector	Gregg Morgan
Type of Exterior	Traditional Hard Coat		
Substrate	Plywood		
Windows	Metal/ Single Hung/ Fixed/ Glass Block		

Inspection Test Equipment		
Equipment Description	Test Range	Setting
Delmhorst Moisture Probe Meter- BD 2100	Low 6-13 /Medium 13-19 /High 19+	1
<p>Important Note: The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. this information is then used to help determine potential problem areas which may warrant more investigation.</p>		



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Caulking	Good	Not Adequate	N/A	Comments
Caulking Around Window Frame		X		
Caulking At Window Joints / Miters		X		
Caulking Around Door Frame		X		
Caulking At Door Joints / Miters		X		
Caulking Around Other Breaches		X		
Flat Accents Caulked or Angled		X		Add Metal Cap
Soffit, Frieze & Facia Boards Caulked		X		
Flashings / Diverters	Good	Not Adequate	N/A	Comments
Kickout Flashings / Roof / Wall		X		
Balcony Flashings		X		
Other Attachment Flashings			X	
Porches / Stoop Flashing	X			
Chimney Cap	X			
Chimney Flashing		X		Modify
Window Head Flashing			X	
Door Head Flashing			X	
Column Flashing			X	
Terminations	Yes	No	N/A	Comments
Stucco In Contact With Flat Work		X		
Stucco In Contact With Soil		X		
Miscellaneous	Yes	No	N/A	Comments
Evidence Of Sprinkler Overspray	X			
Gutters Clean & Functioning			X	
Cracks or Impact Damage	X			
Exterior Evidence of Pest Infestation		X		
Control Joints Noted On System	X			



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Summary Page

- Lone Star Stucco, LLC recommends to consult with a stucco waterproofing contractor to touch up or seal all doors, windows, and penetrations as needed in an effort to avoid moisture intrusion.
- The door trim and miter sealants are separated or missing. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.
- The penetration sealants are separated or missing. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #5.2, #5.3, #5.4, #5.5 and #5.6 for more detail.
- Mildew and run-off stains were noted in this location. The inspector suggests to clean the area as needed. Please refer to photos #6.2, #6.3, #6.4, #6.5 and #6.6 for more detail.
- The window sealants are separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #7.2, #7.3, #7.4, #7.5 and #7.6 for more detail.
- Confirmed substrate and frame damage was noted in the first floor wall below the leaking glass block window and second floor bank of windows. Additionally substrate damage is noted from the black plastic at the base of wall to the left. The inspector suggests to have a qualified stucco waterproofing contractor further assess and repair this area in an effort to prevent moisture intrusion. Please refer to photos #8.2, #8.3, #8.4, #8.5 and #8.6 for more detail.
- Potential damage is noted in the third floor window header below the failing rooftop pony wall with cracked flat accent. The inspector suggests to have a qualified stucco waterproofing contractor core sample assess then repair this area if needed. Note the inspector was unable to reach this location. Please refer to photos #10.1 for more detail.



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- Confirmed substrate and potential frame damage is noted in the second floor window header below the failing rooftop pony wall with cracked flat accent. The inspector suggests to have a qualified stucco waterproofing contractor further assess the extent of damage then repair this area as needed and to install a relief in an effort to allow proper moisture evacuation. Please refer to photos #10.2, #10.3, #10.4, #10.5 and #10.6 for more detail.
- A flat accent has been noted at these areas. The inspector suggests to consult with a qualified stucco waterproofing contractor to add a metal cap to all flat accents in an effort to prevent moisture intrusion. Please refer to photos #12.2, #12.3 and #12.4 for more detail.
- The scupper sealants are missing. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #12.5 and #12.6 for more detail.
- Confirmed substrate and potential frame damage is noted in the balcony and corner wall below. Note that the soffit in this location is hard board. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #13.2, #13.3, #13.4, #13.5, #13.6, #14.1, #14.2 and #14.3 for more detail.
- Confirmed substrate and potential frame damage is noted at the bottom wall below windows and the corner walls below. Note that the soffit in this location is hard board. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #15.2, #15.3 and #15.4 for more detail.
- The accent band in this location is broken. The inspector suggests to have a qualified stucco waterproofing contractor repair and seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #16.2, #16.3, #16.4, #16.5 and #16.6 for more detail.
- Semi-Firm substrate was noted At grid I8 below the direct vent above. The inspector suggests to have a qualified stucco waterproofing contractor core sample assess then repair this area if needed. Please refer to photos #17.1 for more detail.
- Minor substrate damage and black plastic noted in this area. Black plastic is when the substrate has been sealed, which creates a reservoir to hold moisture. The inspector suggests to consult with a qualified stucco water proofing contractor to cut the black plastic and further investigate and repair any substrate damage. Please refer to 18.1 for more detail.
- Control joint cracks are noted in this location. The inspector suggests to have a qualified stucco waterproofing contractor seal and paint these cracks in an effort to prevent moisture intrusion. Please refer to photos #18.2, #18.3, #18.4, #18.5 and #18.6 for more detail.



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- Potential substrate and frame damage is noted in this corner wall. The inspector suggests to have a qualified stucco waterproofing contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. Please refer to photos #19.1 for more detail.
- Confirmed substrate and potential frame damage is noted in this corner wall. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.
- Damage was noted in the bottom wall. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #20.2, #20.3, #20.4, #20.5 and #20.6 for more detail.
- The penetration sealants are missing. The inspector suggests to have a qualified waterproofing contractor seal this area as needed in an effort to prevent moisture intrusion. Please refer to photos #21.2, #21.3, #21.4, #21.5 and #21.6 for more detail.
- The window sealants are separated. The inspector suggests to have a qualified waterproofing contractor seal this area as needed in an effort to prevent moisture intrusion. Please refer to photos #22.2, #22.3, #22.4 and #22.6 for more detail.
- The siding sealants are separated. The inspector suggests to have a qualified waterproofing contractor seal this area as needed in an effort to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.
- Rust stains from the over-flow are noted in this area. The inspector suggests to clean this location with a wire brush and paint as needed. Please refer to photos #24.2, #24.3 and #24.4 for more detail.
- The siding trim/stucco termination sealants are separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #25.2, #25.3, #25.4, #25.5 and #25.6 for more detail.
- Potential substrate frame damage is noted in the chimney chase. The inspector suggests to have a qualified stucco waterproofing contractor further assess and repair this area as needed and to install a relief in an effort to allow proper moisture evacuation. Please refer to photos #26.1 for more detail.
- Confirmed substrate and potential frame damage is noted in the chimney chase. The inspector suggests to have a qualified stucco waterproofing contractor repair this area as needed and to install a relief in an effort to allow proper moisture evacuation. Please refer to photos #26.2, #26.3, #26.4, #26.5 and #26.6 for more detail.



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- You have several areas that are showing signs of elevated moisture. Semi-soft and nonexistent substrate was noted in some of these areas. It is recommended to consult with a stucco waterproofing contractor to investigate all semi-soft and nonexistent areas. Please refer to the attached report for more detail.
- **LIMITATIONS OF LIABILITY:** Because this is a limited inspection, we can make no guarantee, express or implied, that our observations and random moisture readings offer conclusive evidence that no installation or moisture problems exist, or that problems found are all-inclusive. This inspection company, its employees and any divisions shall not be liable for non-visual defects, unseen defects, unspecified defects or hidden damage and conditions existing on the subject property and hereby disclaims any liability or responsibility thereof. All parties concerned agree to hold harmless and indemnify this inspection company involving any liabilities that may result.
- **FURTHER TESTING / INVESTIGATION:** Our policy is to rely on moisture meter readings as an indicator of relative moisture values between different test spots, not as an absolute value of water content in the substrate. It is difficult to determine if the structural wood of your home has been damaged in areas of high readings without 'probing' and/or removing a core sample of the stucco to allow for visual inspection. Should we feel that further investigation is needed this will be indicated in the summary section of the report.
- **REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:** A repair follow-up inspection should be conducted within three months after completion of the repairs to assess the effectiveness of the moisture modifications. This is extremely important. Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining your home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a reputable and qualified firm.
- **PLEASE NOTE:** Lone Star Stucco, LLC is not a home inspection company, and does not perform home inspections. This reports primary use is to show the area that are likely to have moisture intrusion in an effort to help control mold. This report and all its contents area sanctioned by the Texas Department of State and Health Services in guidelines for mold prevention.



Lone Star Stucco, LLC

Thank you for your business,

James "Gregg" Morgan

2220 S Piney Pt Rd #208

Houston, TX 77063

Texas Department of Licensing and Regulation

Mold Assessment Consultant

License Number: MAC 1299

Expiration 8/13/2020



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Photo4.1



Photo4.2



Door Trim And Miter Sealants/ Seal

Photo4.3



Door Trim And Miter Sealants/ Seal

Photo4.4



Door Trim And Miter Sealants/ Seal

Photo4.5



Door Trim And Miter Sealants/ Seal

Photo4.6



Door Trim And Miter Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Arrows	Door Trim And Miter Sealants			The door trim and miter sealants are separated or missing. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.



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Photo5.1



Photo5.2



Penetration Sealants/ Seal

Photo5.3



Penetration Sealants/ Seal

Photo5.4



Penetration Sealants/ Seal

Photo5.5



Penetration Sealants/ Seal

Photo5.6



Penetration Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetration Sealants			The penetration sealants are separated or missing. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #5.2, #5.3, #5.4, #5.5 and #5.6 for more detail.



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Photo6.1



Photo6.2



Mildew And Run-Off Stains/ Seal

Photo6.3



Mildew And Run-Off Stains/ Seal

Photo6.4



Mildew And Run-Off Stains/ Seal

Photo6.5



Mildew And Run-Off Stains/ Seal

Photo6.6



Mildew And Run-Off Stains/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Circle	Mildew And Run-Off Stains			Mildew and run-off stains were noted in this location. The inspector suggests to clean the area as needed. Please refer to photos #6.2, #6.3, #6.4, #6.5 and #6.6 for more detail.



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Photo7.1



Photo7.2



Window Sealants/ Seal

Photo7.3



Window Sealants/ Seal

Photo7.4



Window Sealants/ Seal

Photo7.5



Window Sealants/ Seal

Photo7.6



Window Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Window Sealants			The window sealants are separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #7.2, #7.3, #7.4, #7.5 and #7.6 for more detail.



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Photo8.1



Photo8.2



Confirmed Substrate And Frame Damage/ Repair

Photo8.3



Confirmed Substrate And Frame Damage/ Repair

Photo8.4



Confirmed Substrate And Frame Damage/ Repair

Photo8.5



Confirmed Substrate And Frame Damage/ Repair

Photo8.6



Confirmed Substrate And Frame Damage/ Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Confirmed Substrate And Frame Damage			Confirmed substrate and frame damage was noted in the first floor wall below the leaking glass block window and second floor bank of windows. Additionally substrate damage is noted from the black plastic at the base of wall to the left. The inspector suggests to have a qualified stucco waterproofing contractor further assess and repair this area in an effort to prevent moisture intrusion. Please refer to photos #8.2, #8.3, #8.4, #8.5 and #8.6 for more detail.



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Photo9.1

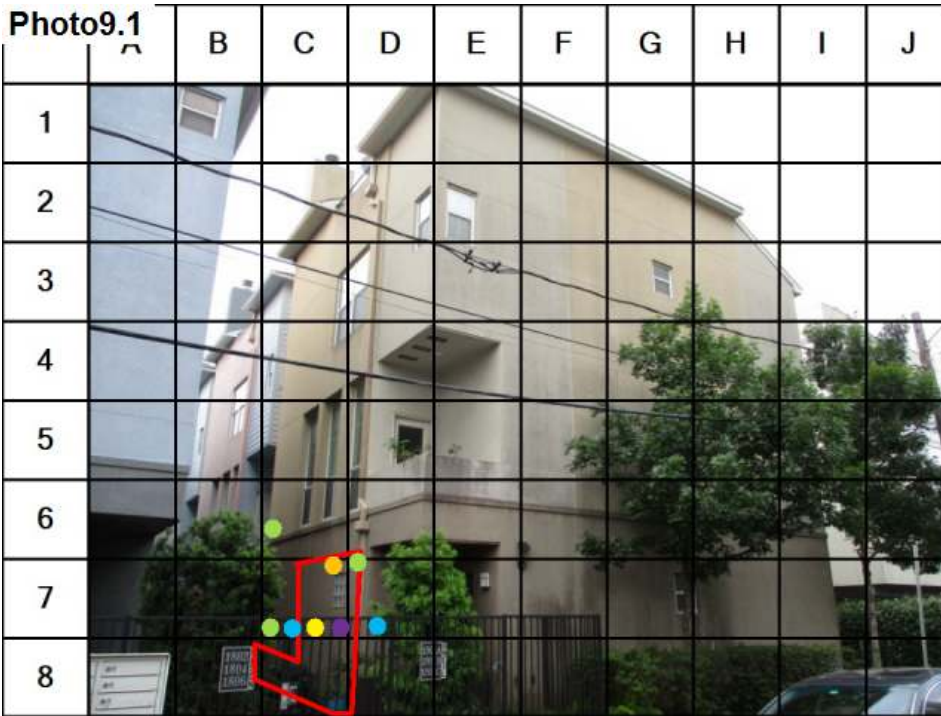


Photo9.2



Moisture Probe Information

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Confirmed Substrate And Frame Damage			Please refer to page 8 for detail.
B7	Wall Left Of Damage	14%	Firm	A moisture probe was made at the wall left of the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
C6	Wall Left Above Damage	15%	Firm	A moisture probe was made at the wall left above the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
B7 - Blue Dot	Wall Left Of Damage	17%	Firm	A moisture probe was made at the wall left of the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
B7 - Yellow Dot	Wall Left Of Damage	16%	Firm	A moisture probe was made at the wall left of the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
B7 - Purple Dot	Wall Left Of Damage	17%	Firm	A moisture probe was made at the wall left of the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
B7 - Orange Dot	Above Damage	17%	Firm	A moisture probe was made above the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
D7	Above Damage	14%	Firm	A moisture probe was made above the damage. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.
D7 - Blue Dot	Wall Right	16%	Firm	A moisture probe was made at the wall right. The substrate was firm with no damage noted at this time. Please refer to photo #9.1 for more detail.



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Photo10.1



Photo10.2



Confirmed Substrate And Potential Frame Damage/ Repair/Add Relief

Photo10.3



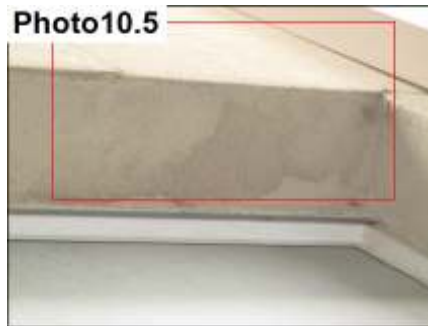
Confirmed Substrate And Potential Frame Damage/ Repair/Add Relief

Photo10.4



Confirmed Substrate And Potential Frame Damage/ Repair/Add Relief

Photo10.5



Confirmed Substrate And Potential Frame Damage/ Repair/Add Relief

Photo10.6



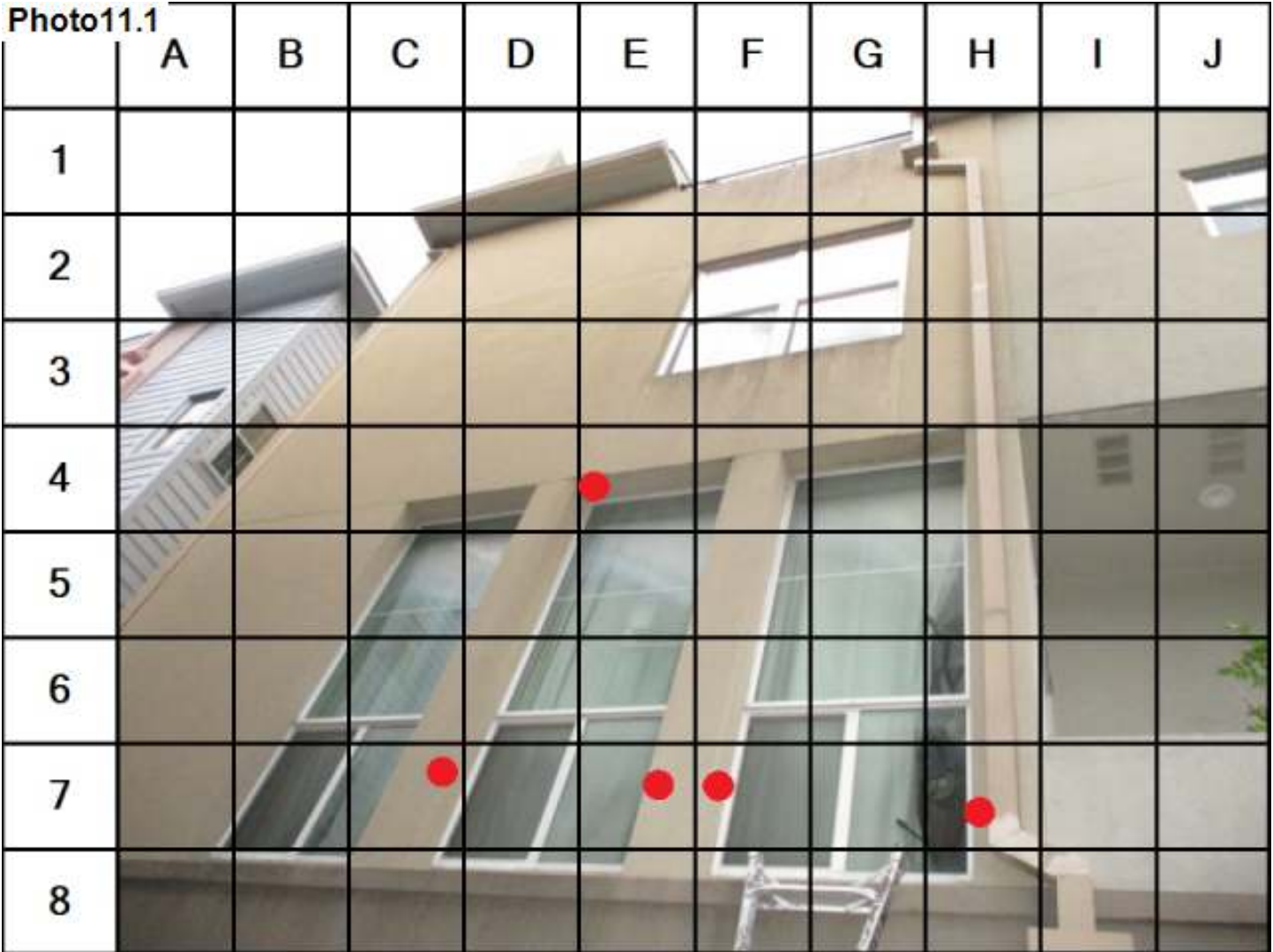
Confirmed Substrate And Potential Frame Damage/ Repair/Add Relief

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Purple Box	Potential Substrate Damage / Core Sample			Potential damage is noted in the third floor window header below the failing rooftop pony wall with cracked flat accent. The inspector suggests to have a qualified stucco waterproofing contractor core sample assess then repair this area if needed. Note The inspector was unable to reach this location. Please refer to photos #10.1 for more detail.
Red Box	Confirmed Substrate And Potential Frame Damage			Confirmed substrate and potential frame damage is noted in the second floor window header below the failing rooftop pony wall with cracked flat accent. The inspector suggests to have a qualified stucco waterproofing contractor further assess the extent of damage then repair this area as needed and to install a relief in an effort to allow proper moisture evacuation. Please refer to photos #10.2, #10.3, #10.4, #10.5 and #10.6 for more detail.



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Photo11.1



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
C7	Between Windows	21%	Semi-Firm	A moisture probe was made between the windows. An elevated moisture reading was noted with a semi-firm substrate.
E7	Between Windows	27%	Semi-Soft	A moisture probe was made between the windows. An elevated moisture reading was noted with a semi-soft substrate. The inspector suggests to modify this area as needed.
F7	Between Windows	25%	Semi-Soft	A moisture probe was made between the windows. An elevated moisture reading was noted with a semi-soft substrate. The inspector suggests to modify this area as needed.
H7	Between Windows	22%	Semi-Firm	A moisture probe was made between the windows. An elevated moisture reading was noted with a semi-firm substrate.
E4	Bottom Wall		None	A moisture probe was made at the bottom wall. No substrate was noted in this location. The inspector suggests to modify this area as needed.



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Photo12.1



Photo12.2



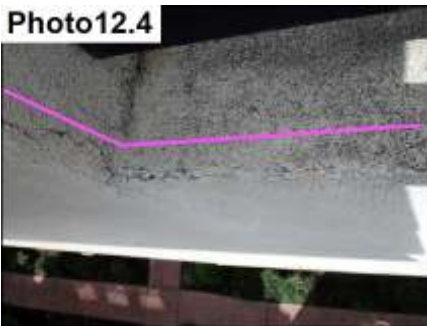
Flat Accent/ Add Metal Cap

Photo12.3



Flat Accent/ Add Metal Cap

Photo12.4



Flat Accent/ Add Metal Cap

Photo12.5



Scupper Sealants Missing / Seal

Photo12.6



Scupper Sealants Missing / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Pink Line	Flat Accent			A flat accent has been noted at these areas. The inspector suggests to consult with a qualified stucco waterproofing contractor to add a metal cap to all flat accents in an effort to prevent moisture intrusion. Please refer to photos #12.2, #12.3 and #12.4 for more detail.
Red Circle	Scupper Sealants			The scupper sealants are missing. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #12.5 and #12.6 for more detail.



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Photo13.1

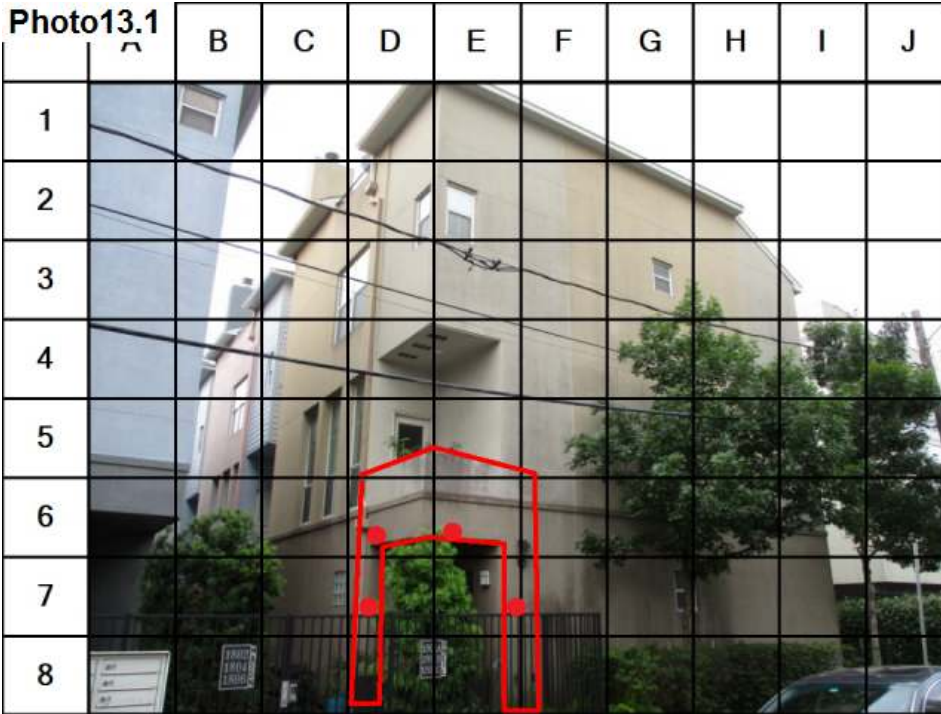


Photo13.2



Confirmed Substrate And Potential Frame Damage/ Repair

Photo13.3



Confirmed Substrate And Potential Frame Damage/ Repair

Photo13.4



Confirmed Substrate And Potential Frame Damage/ Repair

Photo13.5



Confirmed Substrate And Potential Frame Damage/ Repair

Photo13.6



Confirmed Substrate And Potential Frame Damage/ Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Confirmed Substrate And Potential Frame Damage			Confirmed substrate and potential frame damage is noted in the balcony and corner walls below. Note that the soffit in this location is hard board. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #13.2, #13.3, #13.4, #13.5 and #13.6 for more detail.
D7	Corner Wall Below Failing Balcony		None	A moisture probe was made at the corner wall below the failing balcony. No substrate was noted in this location. The inspector suggests to modify this area as needed.
E7	Corner Wall Below Failing Balcony		None	A moisture probe was made at the corner wall below the failing balcony. No substrate was noted in this location. The inspector suggests to modify this area as needed.
D6	Below Failing Balcony		None	A moisture probe was made below the failing balcony. No substrate was noted in this location. The inspector suggests to modify this area as needed.
E6	Below Failing Balcony		None	A moisture probe was made below the failing balcony. No substrate was noted in this location. The inspector suggests to modify this area as needed.

"Your Local Moisture & Mold Consultant Specialist"



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Photo14.1



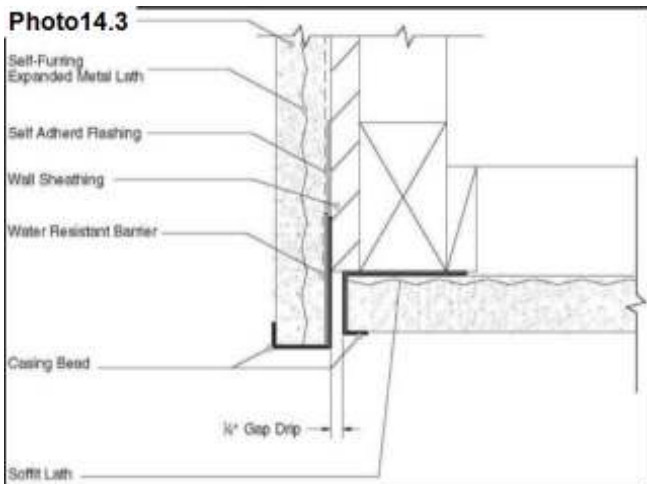
Confirmed Substrate And Potential Frame Damage/
Repair

Photo14.2



Confirmed Substrate And Potential Frame Damage/
Repair

Photo14.3



Proper Relief Detail



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Photo15.1

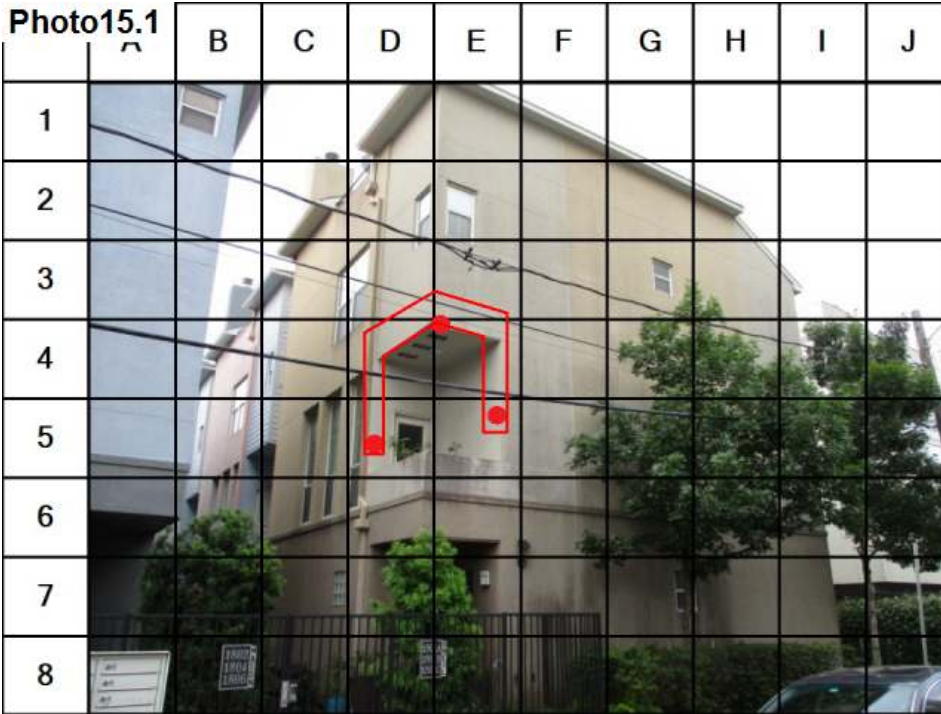
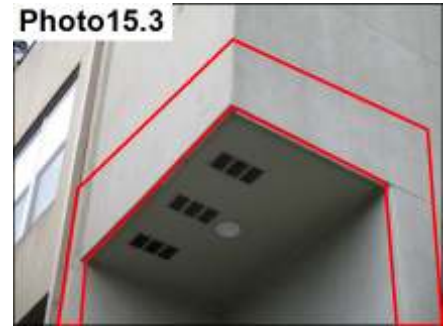


Photo15.2



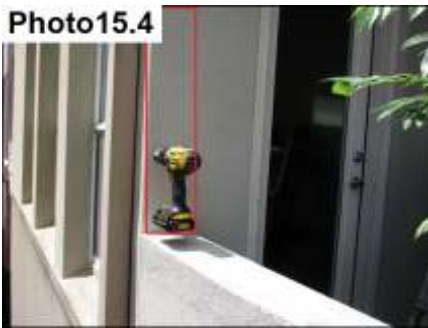
Substrate Damage/ Repair

Photo15.3



Substrate Damage/ Repair

Photo15.4



Substrate Damage/ Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Substrate Damage			Confirmed substrate and potential frame damage is noted at the bottom wall below windows and the corner walls below. Note that the soffit in this location is hard board. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion Please refer to photos #15.2, #15.3 and #15.4 for more detail.
D5	Wall Below Bumpout Wall At Corner		None	A moisture probe was made at the wall below the bumpout wall at the corner. No substrate was noted in this location. The inspector suggests to modify this area as needed.
E5	Wall Below Bumpout Wall At Corner	27%	Semi-Soft	A moisture probe was made at the wall below the bumpout wall at the corner. An elevated moisture reading was noted with a semi-soft substrate. The inspector suggests to modify this area as needed.
E4	Bottom Wall		None	A moisture probe was made at the bottom wall. No substrate was noted in this location. The inspector suggests to modify this area as needed.

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Photo16.1



Photo16.2



Broken Accent Band/ Repair And Seal

Photo16.3



Broken Accent Band/ Repair And Seal

Photo16.4



Broken Accent Band/ Repair And Seal

Photo16.5



Broken Accent Band/ Repair And Seal

Photo16.6

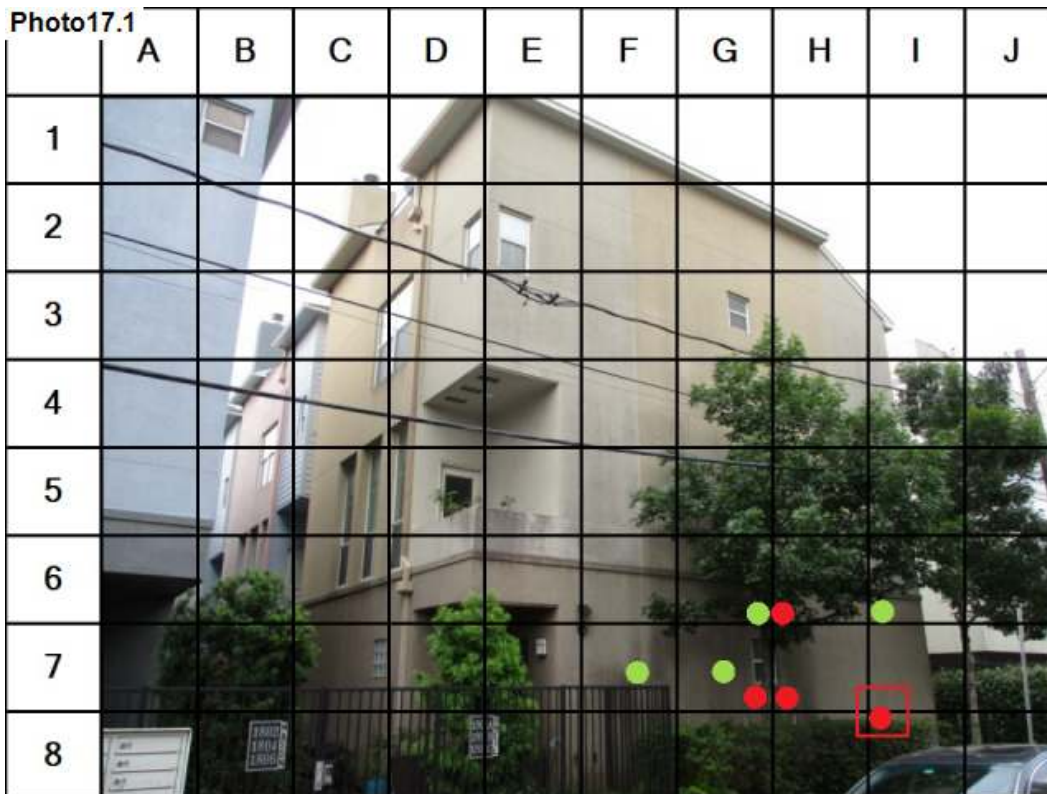


Broken Accent Band/ Repair And Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Broken Accent Band			The accent band in this location is broken. The inspector suggests to have a qualified stucco waterproofing contractor repair and seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #16.2, #16.3, #16.4, #16.5 and #16.6 for more detail.



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Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Core Sample			Semi-Firm substrate was noted At grid I8 below the direct vent above. The inspector suggests to have a qualified stucco waterproofing contractor core sample assess then repair this area if needed. Please refer to photos #17.1 for more detail.
F7	Right Wall	18%	Firm	A moisture probe was made at the right wall. The substrate was firm with no damage noted at this time.
G7	Right Wall	18%	Firm	A moisture probe was made at the right wall. The substrate was firm with no damage noted at this time.
H7	Right Wall Below Window Bottom Right	24%	Semi-Firm	A moisture probe was made at the right wall below the window bottom right. An elevated moisture reading was noted with a semi-firm substrate.
G7/ Red Dot	Right Wall Below Window Bottom Left	25%	Semi-Firm	A moisture probe was made at the right wall below the window bottom left. An elevated moisture reading was noted with a semi-firm substrate.
H6	Right Wall At Window Header Right	20%	Firm	A moisture probe was made at the right wall at the window header right. An elevated moisture reading was noted with a firm substrate.
G6	Right Wall At Window Header Left	18%	Firm	A moisture probe was made at the right wall at the window header left. The substrate was firm with no damage noted at this time.
I8	Right Wall	24%	Semi-Firm	A moisture probe was made at the right wall. An elevated moisture reading was noted with a semi-firm substrate.
I6	Above Probe I8	18%	Firm	A moisture probe was made above probe I8. The substrate was firm with no damage noted at this time.



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Photo18.1



Photo18.2



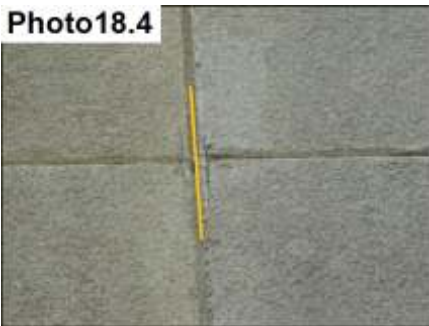
Control Joint Cracks/ Seal And Paint

Photo18.3



Control Joint Cracks/ Seal And Paint

Photo18.4



Control Joint Cracks/ Seal And Paint

Photo18.5



Control Joint Cracks/ Seal And Paint

Photo18.6



Control Joint Cracks/ Seal And Paint

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Minor Substrate Black Plastic			Minor substrate damage and black plastic noted in this area. Black plastic is when the substrate has been sealed, which creates a reservoir to hold moisture. The inspector suggests to consult with a qualified stucco water proofing contractor to cut the black plastic and further investigate and repair any substrate damage. Please refer to 18.1 for more detail.
Orange Lines	Control Joint Cracks			Control joint cracks are noted in this location. The inspector suggests to have a qualified stucco waterproofing contractor seal and paint these cracks in an effort to prevent moisture intrusion. Please refer to photos #18.2, #18.3, #18.4, #18.5 and #18.6 for more detail.



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Photo19.1

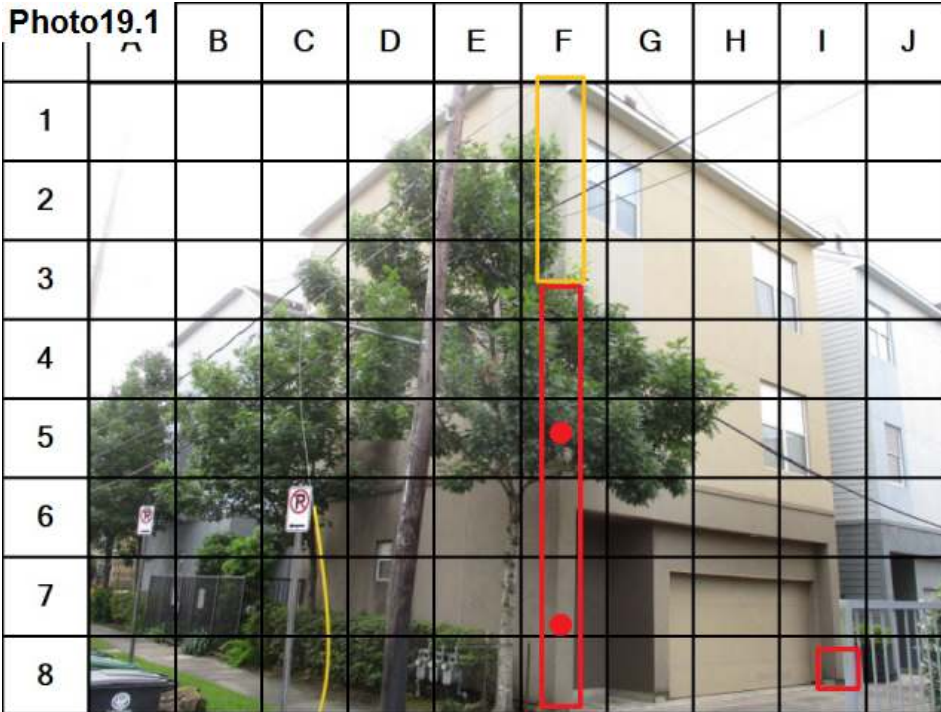


Photo19.2



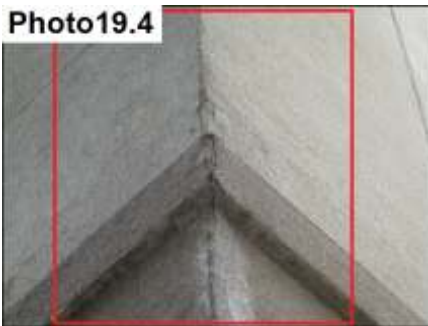
Confirmed Substrate And Potential Frame Damage/ Repair

Photo19.3



Confirmed Substrate And Potential Frame Damage/ Repair

Photo19.4



Confirmed Substrate And Potential Frame Damage/ Repair

Photo19.5



Confirmed Substrate And Potential Frame Damage/ Repair

Photo19.6



Confirmed Substrate And Potential Frame Damage/ Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Box	Potential Damage Noted			Potential substrate and frame damage is noted in this corner wall. The inspector suggests to have a qualified stucco waterproofing contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. Please refer to photos #19.1 for more detail.
Red Box	Confirmed Substrate And Potential Frame Damage			Confirmed substrate and potential frame damage is noted in this corner wall. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.
F7	Corner Wall At Sizeable Crack		None	A moisture probe was made at the corner wall at the sizeable crack. No substrate was noted in this location. The inspector suggests to modify this area as needed.
F5	Corner Wall At Sizeable Crack		None	A moisture probe was made at the corner wall at the sizeable crack. No substrate was noted in this location. The inspector suggests to modify this area as needed.



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Photo20.1

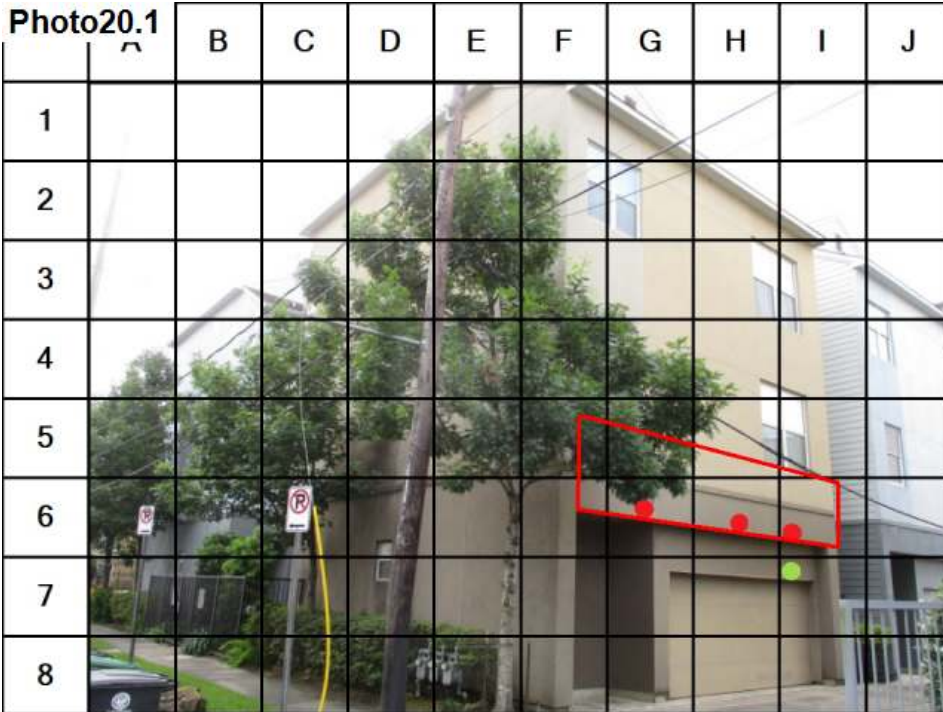
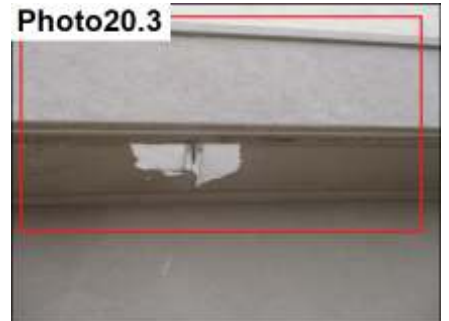


Photo20.2



Damage/ Repair

Photo20.3



Damage/ Repair

Photo20.4



Damage/ Repair

Photo20.5



Damage/ Repair

Photo20.6



Damage/ Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential frame damage is noted at the bottom wall below windows the windows. Note that the soffit in this location is hard board. The inspector suggests to have a qualified stucco waterproofing contractor repair this area in an effort to prevent moisture intrusion. Please refer to photos #20.2, #20.3, #20.4, #20.5 and #20.6 for more detail.
I7	Garage Header	18%	Firm	A moisture probe was made at the garage header. The substrate was firm with no damage noted at this time.
G6	Bottom Wall		None	A moisture probe was made at the bottom wall. No substrate was noted in this location. The inspector suggests to modify this area as needed.
H6	Bottom Wall		None	A moisture probe was made at the bottom wall. No substrate was noted in this location. The inspector suggests to modify this area as needed.
I6	Bottom Wall		None	A moisture probe was made at the bottom wall. No substrate was noted in this location. The inspector suggests to modify this area as needed.

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Photo21.1



Photo21.2



Penetration Sealants/ Seal

Photo21.3



Penetration Sealants/ Seal

Photo21.4



Penetration Sealants/ Seal

Photo21.5



Penetration Sealants/ Seal

Photo21.6



Penetration Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetration Sealants			The penetration sealants are missing. The inspector suggests to have a qualified waterproofing contractor seal this area as needed in an effort to prevent moisture intrusion. Please refer to photos #21.2, #21.3, #21.4, #21.5 and #21.6 for more detail.



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Photo22.1



Photo22.2



Window Sealants/ Seal

Photo22.3



Window Sealants/ Seal

Photo22.4



Window Sealants/ Seal

Photo22.5



Window Sealants/ Seal

Photo22.6



Window Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Window Sealants			The window sealants are separated. The inspector suggests to have a qualified waterproofing contractor seal this area as needed in an effort to prevent moisture intrusion. Please refer to photos #22.2, #22.3, #22.4 and #22.6 for more detail.



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Photo23.1



Photo23.2



Siding Sealants/ Seal

Photo23.3



Siding Sealants/ Seal

Photo23.4



Siding Sealants/ Seal

Photo23.5



Siding Sealants/ Seal

Photo23.6



Siding Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Circle	Siding Sealants			The siding sealants are separated. The inspector suggests to have a qualified waterproofing contractor seal this area as needed in an effort to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.



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Photo24.1



Photo24.2



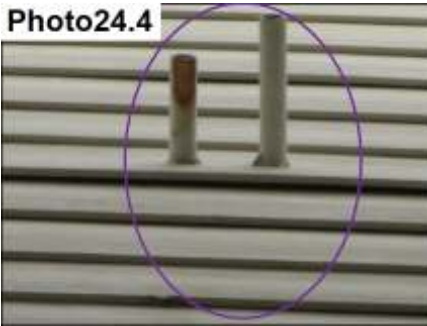
Rust Stains/ Clean And Paint

Photo24.3



Rust Stains/ Clean And Paint

Photo24.4



Rust Stains/ Clean And Paint

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Purple Circle	Rust Stains			Rust stains from the over-flow are noted in this area. The inspector suggests to clean this location with a wire brush and paint as needed. Please refer to photos #24.2, #24.3 and #24.4 for more detail.



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Photo25.1



Photo25.2



Siding Trim/Stucco Termination Sealants/ Seal

Photo25.3



Siding Trim/Stucco Termination Sealants/ Seal

Photo25.4



Siding Trim/Stucco Termination Sealants/ Seal

Photo25.5



Siding Trim/Stucco Termination Sealants/ Seal

Photo25.6



Siding Trim/Stucco Termination Sealants/ Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Lines	Siding Trim/Stucco Termination Sealants			The siding trim/stucco termination sealants are separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with NP1 or low modulus sealant an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #25.2, #25.3, #25.4, #25.5 and #25.6 for more detail.



Lone Star Stucco, LLC

Photo26.1



Photo26.2



Confirmed Substrate And Potential Frame Damage

Photo26.3



Confirmed Substrate And Potential Frame Damage

Photo26.4



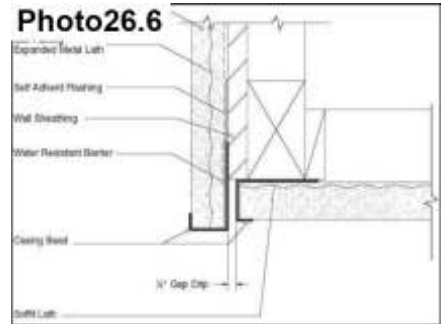
Confirmed Substrate And Potential Frame Damage

Photo26.5



Confirmed Substrate And Potential Frame Damage

Photo26.6



Proper Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Box	Potential Damage / Core Sample			Potential substrate frame damage is noted in the chimney chase. The inspector suggests to have a qualified stucco waterproofing contractor further assess and repair this area as needed and to install a relief in an effort to allow proper moisture evacuation. Please refer to photos #26.1 for more detail.
Red Box	Confirmed Substrate And Potential Frame Damage			Confirmed substrate and potential frame damage is noted in the chimney chase. The inspector suggests to have a qualified stucco waterproofing contractor repair this area as needed and to install a relief in an effort to allow proper moisture evacuation. Please refer to photos #26.2, #26.3, #26.4, #26.5 and #26.6 for more detail.